



MUNICIPAL SERVICES CENTER

6703 Sullivan Road ♦ Central, Louisiana 70739 ♦ p: 225-262-5000 ♦ f: 225-262-5001

MEMORANDUM

TO: Planning Commission

FROM: Woodrow Muhammad AICP, Planning and Zoning Director

SUBJECT: **COL-2-14 COMBINATION OF 6-D8-2B-4A-1A-1-A, 6-D8-2B-4A-1A-2, AND 6-D8-2B-4A-1A-1-B OF THE FORMER J.J. KENT PROPERTY**

LOCATION This property is located on the north side of Greenwell Springs-Port Hudson Road between the Blackwater and Joor Road intersections in Sections 7 T5S, R2E, EBR, LA.

MASTERPLAN LAND USE	Low Density Residential
PRESENT ZONING	Rural
LOT ID NUMBER	211910079, 211910048, 211910080
ENGINEER/LAND SURVEYOR	Charlie St. Romain
APPLICANT	Samuel Marshall Clegg

STAFF COMMENTS

1. **Size** of subject property is approximately 17 acres.
2. **Background** The applicant is proposing to combine three (3) lots into two (2) for single family residential land use.
3. **Access** Public Road
4. **Master Plan Statement** The subject property is designated as Low Density Residential land use on the "City of Central Master Plan". The proposed use is consistent with the Master Plan.
5. **Planning Commission Staff Recommendation** The Staff recommends approving the combination of tracts.
6. Scheduled for Planning Commission Meeting on **May 22, 2014**.



REFERENCE DRAWING:

"MAP SHOWING THE SUBDIVISION OF LOT LOT 6-D8-2B-4A-1A-1 OF THE J.J. KENT PROPERTY INTO LOTS 6-D8-2B-4A-1A-1-A & LOT 6-D8-2B-4A-1A-1-B FOR MARSHALL CLEGG" BY JOHN P. EVANS, JR., DATED OCTOBER 1, 2007.

LEGEND

- MARKER FOUND
- 1/2" REBAR SET
- ✂ PK NAIL SET
- △ CALCULATED POINT
- FENCE LINE

APPROVED: _____ DATE _____
CITY OF CENTRAL
DAVID BARROW, CHIEF
ADMINISTRATIVE OFFICER

APPROVED: _____ DATE _____
WOODROW MUHAMMAD, AICP
PLANNING AND ZONING DIRECTOR
OR HIS DESIGNEE

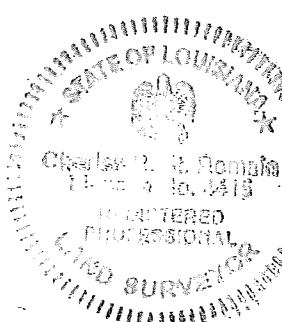
SETBACKS

FRONT=37.5' (EXISTING)
SIDELINE=8'
REAR=25'

SUBDIVIDER:

MARSHALL CLEGG
11717 GREENWELL SPRINGS - PORT HUDSON ROAD
ZACHARY, LA 70791

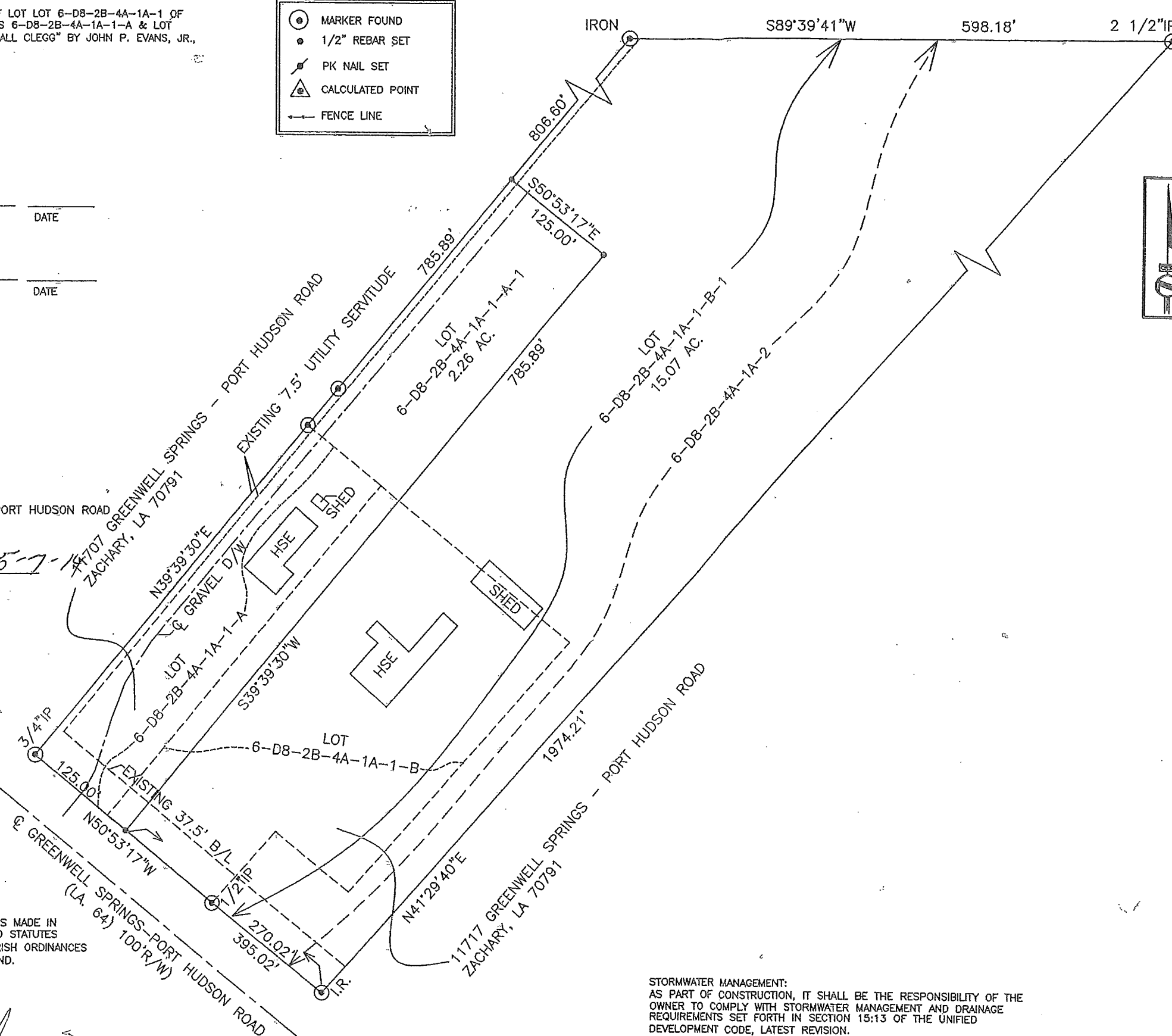
Marshall Clegg 5-7-14
MARSHALL CLEGG DATE



CERTIFICATION
THIS IS TO CERTIFY THAT THIS MAP IS MADE IN
ACCORDANCE WITH LOUISIANA REVISED STATUTES
33:5051 AND CONFORMS TO ALL PARISH ORDINANCES
CONCERNING THE SUBDIVISION OF LAND.

Charles R. St. Romain
CHARLES R. ST. ROMAIN
REG NO. 4415
6988 ISLAND ROAD, JARREAU, LA. 70749
225 627-5822/4030

DRAWING DATE: MAY 2, 2014



STORMWATER MANAGEMENT:
AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE
OWNER TO COMPLY WITH STORMWATER MANAGEMENT AND DRAINAGE
REQUIREMENTS SET FORTH IN SECTION 15:13 OF THE UNIFIED
DEVELOPMENT CODE, LATEST REVISION.

OPEN EFFLUENT DITCHES ARE PREDOMINANT IN THIS AREA. ACCORDING TO
HEALTH DEPARTMENT STANDARDS, PROPOSED RESIDENCES CONSTRUCTED ON
THIS SITE SHALL BE A MINIMUM OF 24 INCHES ABOVE THE BOTTOM OF THE
ADJACENT ROADSIDE DITCH. HOWEVER, FINAL DETERMINATION OF THE PRO-
POSED FLOOR ELEVATION SHALL BE DETERMINED ACCORDING TO PARISH OR-
DINANCES.

VICINITY MAP

SCALE: 1" = 2000'

GENERAL NOTES:

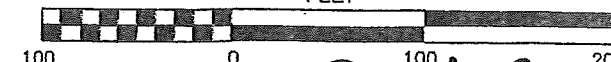
- 1) BASE BEARING (N39°39'30"E) FROM REFERENCE DRAWING.
- 2) SURVEYED ON THE GROUND UNDER THE DIRECT SUPERVISION OF THIS SURVEYOR, IN ACCORDANCE WITH LA. "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS SET FORTH IN LAC TITLE 46:LXI FOR A CLASS "C" SURVEY.
- 3) SERVITUDES AND RESTRICTIONS FROM REFERENCE DRAWING.
- 4) THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY-PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILLING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.
- 5) THE CITY OF CENTRAL AND PARISH OF EAST BATON ROUGE DO NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/ BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.
- 6) SEWER: APPROVED PRIVATE INDIVIDUAL SANITARY SEWER SYSTEM
- 7) WATER - PARISH WATER CO.
- 8) ELECTRIC - DEMCO
- 9) GAS - GAS UTILITY DISTRICT NO.1
- 10) FIRE DISTRICT: CHANEYVILLE FIRE DISTRICT NO. 7
- 11) SCHOOL DISTRICT: CENTRAL COMMUNITY SCHOOLS
- 12) ZONING: RURAL
- 13) THE FOLLOWING INFORMATION WAS OBTAINED FROM THE CITY OF CENTRAL DEPARTMENT OF PUBLIC WORKS FLOOD INFORMATION OFFICE ON 12/5/11 AND IS SUBJECT TO CHANGE, CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE CITY OF CENTRAL DEPARTMENT OF PUBLIC WORKS.
FEMA FLOOD ZONE: A
100 YEAR FLOOD ELEVATION:
- 14) SEWAGE DISPOSAL:
NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE HEALTH UNIT OF EAST BATON ROUGE PARISH.
- 15) CONTOURS FROM LIDAR.
- 16) THIS IS AN EXCHANGE OF PROPERTY, NO ADDITIONAL LOTS ARE CREATED.

MAP SHOWING THE COMBINATION OF LOT 6-D8-2B-4A-1A-2,
LOT 6-D8-2B-4A-1A-1-A & LOT 6-D8-2B-4A-1A-1-B INTO
LOT 6-D8-2B-4A-1A-1-A-1 AND LOT 6-D8-2B-4A-1A-1-B-1

FOR
MARSHALL CLEGG

SEC. 7, T-5-S R-2-E, G.L.D.
EAST BATON ROUGE PARISH, LOUISIANA

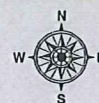
FEET



COL-2-14 REV 5/9/19



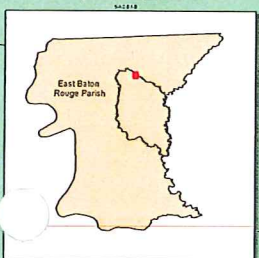
Lot 211910079
211910048
211910080
COL-2-14



Legend
COL-2-14
City Street
Parcels
LOT_GRAPHIC

Prepared by the
City of Central
Geographic Information System
May 4, 2014

This map has been compiled from the most accurate source data from the EDP Planning
However, this map is for informational purposes only and is not to be interpreted as a legal document.
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City of Central, Department of GIS, 200 2000



PUBLIC HEARING

CITY OF CENTRAL

PLANNING & ZONING BOARD

Date: MAY 22, 2014 Time: 6pm

Location: Kristenwood 14025 Greenwell Springs Rd.

Case Number: COL-2-14

☐ REQUEST TO REZONE

FROM: _____

TO: _____

☒ OTHER REQUEST

COMBINATION OF LOTS

For More Information Contact
City of Central 262-5000

04/22/2014 12:56